Rezoning Petition No. 2020-123

Collett Properties, Inc., Petitioner

Community Meeting

October 1, 2020



Charlotte: Research Triangle: Rock Hill robinsonbradshaw.com

Agenda

- I. Introduction of Rezoning Team Members
- II. Current Rezoning Schedule
- III. Site/Current Zoning/Rezoning Request
- IV. Information on Collett Properties, Inc.
- V. Review of Rezoning Plan
- VI. Questions



Rezoning Team

- Teddy Hull, Collett Properties, Inc.
- Mike Robbe, Collett Properties, Inc.
- Kevin Caldwell, Geoscience Group
- John Carmichael, Robinson, Bradshaw & Hinson



Current Rezoning Schedule

Public Hearing: Monday, November 16, 2020 at

5:00 PM at the Charlotte-Mecklenburg

Government Center

Zoning Committee: Tuesday, December 1, 2020 at

5:30 PM at the Charlotte-Mecklenburg

Government Center

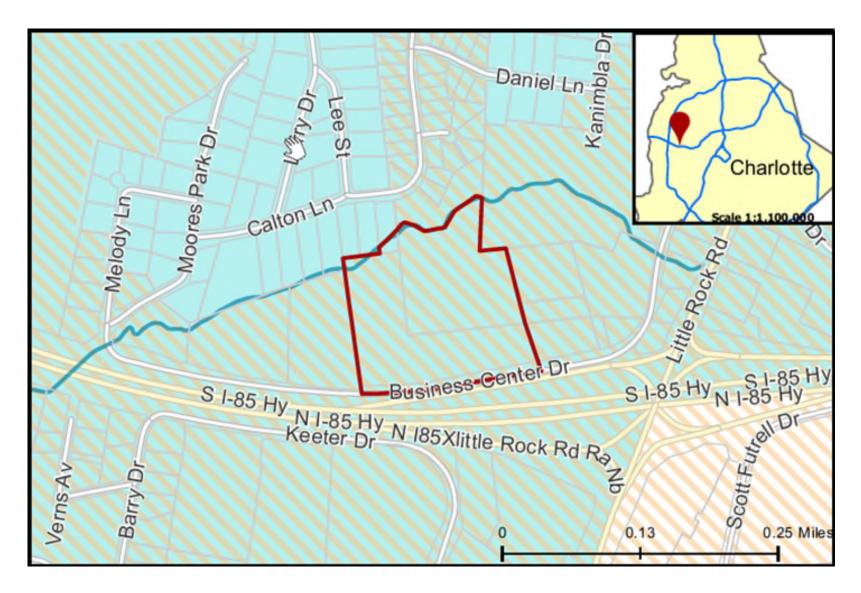
City Council Decision: Monday, December 21, 2020 at

5:00 PM at the Charlotte-Mecklenburg

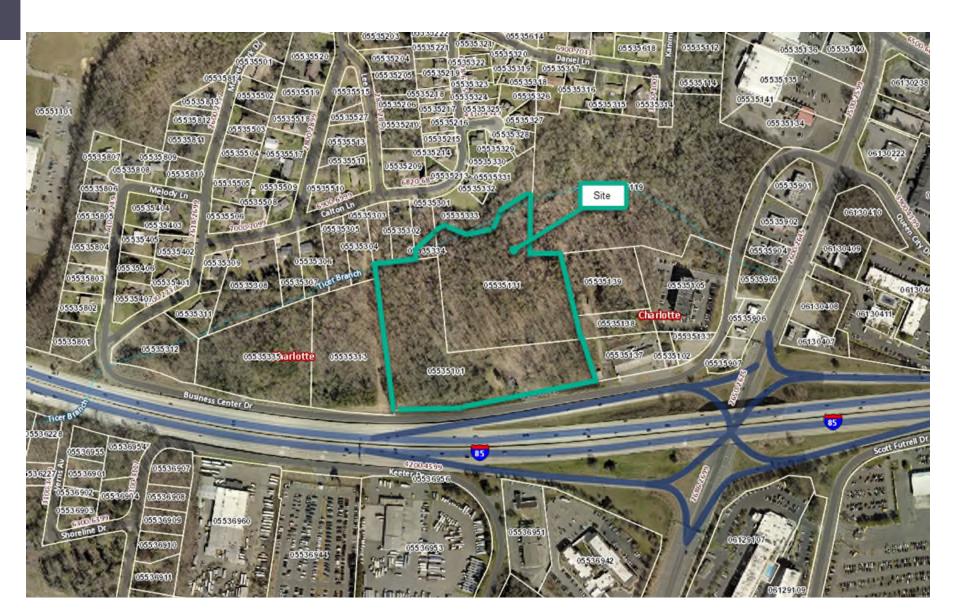
Government Center



Site – 13.22 Acres



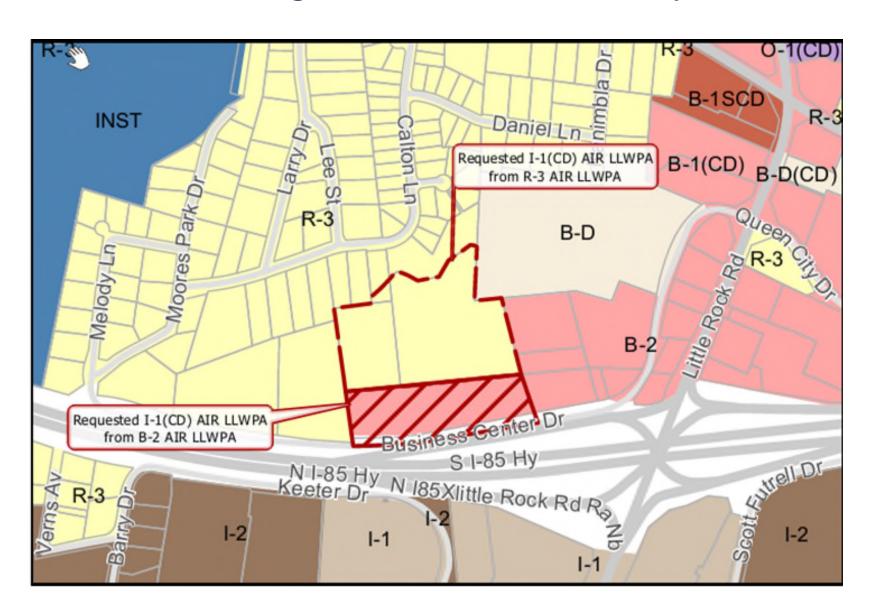
Site - 13.22 Acres



Site – 13.22 Acres



Current Zoning of the Site and Nearby Parcels



Rezoning Request

Requesting that the site be rezoned from the R-3 AIR LLWPA and B-2 AIR LLWPA zoning districts to the I-1 (CD) (Light Industrial) AIR LLWPA zoning district to accommodate a maximum 175,000 square foot building that would be devoted to office, warehouse, distribution and other light industrial uses and limited outside storage on the site

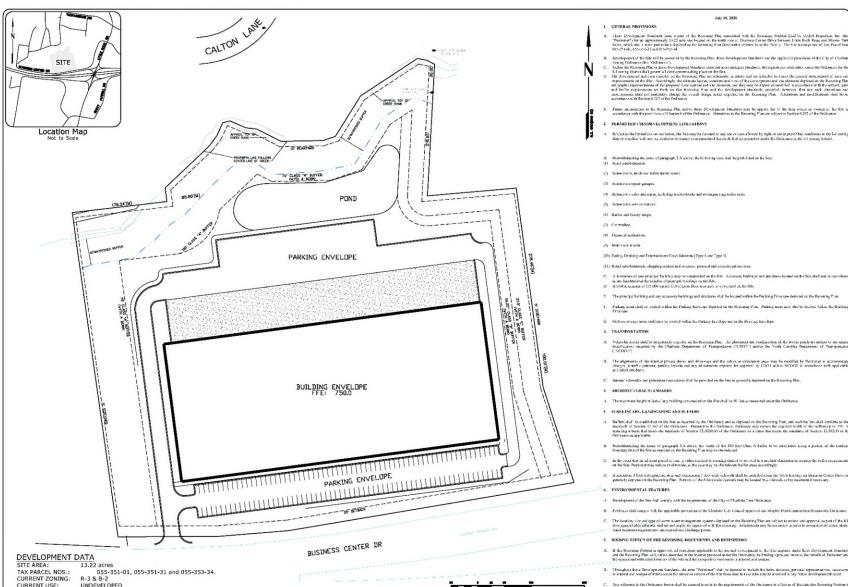


Collett Properties, Inc.



https://www.collettre.com/home

Rezoning Plan



PROPOSED ZONING: I-1 (CD) IMPERVIOUS AREA: 7.22 AC (55%) July 10, 2020

- Lion Development Sombrids has a part of the Receivant Plan measured with the Receivant Petition Eliab by Colod Proportion, the the Petition of the approximately 1.22 are not be local as in the restrict of a more Centre First better I this first Research Southeast Southeast Petition 1.22 are not better than the Centre First better Research Southeast Research Res
- Executegories' if the late will be genomed by the decreasing him, then the help dependent extenders and the applicators promises of the it of yell channels.

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- Future attendations to the Recording Plan author those Development Studings any be applied for by the facts owner or insures of the Site accordance with the provisions of Chapter 6 of the Ordinarca. Alternations to the Recording Plan are subject to Section 6.207 of the Ordinarca.
- fickject to the limitation secont below, the Sier may be devoted to any one or cass allowed by right or under prescribed conditions in the I-I senti-diction, together with may an deated or recessory case associated that we paractic make the Octionsco in the I-I coning district.
- Notwithsteading the terms of paragraph 2.A above, the following uses shall be prohibited on the Swer

- C. A manigram of one principal but Virg may be constructed on the Site. Accessory buildings and structures located on the Site shall not be considered.
- D. A tetal measurem of 1/2,000 square feet of green floor warmany or developed on the Site.
- Fig. The principal building and any accessory buildings and structures shall be located within the Building Enter ope depicted on the Resuming Plan.
- Paking were shall be exceed within the Paking beverope depicted on the Recenting Part. Packing mens may also be located within the Building Excellent.
- G. Online strong mens shall only be breated within the Parkins Envelope sugfor the British Envelope.
- A. Velicela accessibility arganization of the Receipt Plan. The planeaux and configuration of the access points are subject to any ani-vestifications required by the Charlotte Department of Transportation ("CDOT") and/or the North Carolina Department of Transportation.
- 0. The alignments of the internal private drives and drives-ups and the colors or civalation areas may be modified by Pottorier in accommod charges in minfor patterns, participatives and any adjustments required for approval by CDOT and/or NCDOT in accordance with applicable pick hidd structures.
- C. Internal videntality and pedestrian connections shall be provided on the Site as generally depicted on the Reserving Plan.
- A. The maximum height in Sector are building convengent on the Site shall be 50 liest as measured under the Ordinance.
- Italite, and it is established in the State is required by the Christmens and a depicted on the Recovery Plan, and each believe that continues a few mentals of Science 1.5 and of the Christmens Planes and the Christmens Planes are present the register which will be of the Christmens are continued as of the christmens of Science 12.50(21A) of the Ordinance or a time that must be standard of Science 12.50(21A) of the Ordinance or a time that must be standard of Science 12.50(21A) of the Ordinance or a time that must be standard of Science 12.50(21A) of the Ordinance or a time that must be standard of Science 12.50(21A).
- Notwithstanding the turns of paragraph SA above, the width of the 100 foot Class A builts to be extended along a parton of the math-boundary line of the Sin as depoted on the Recording Can may run be reduced.
- C. In the event that on adjacent paced of lane, a cities accound to a moning district to devoted to a new that charinates on sources the halfer enquence on the Site. Positioner may reduce or alteriate, to the case may be, the referent halfer areas accordingly.
- A minimum 3 from wide planting stap and a unanound 2 foot wide sidewalk shall be unstaded along the Site's footings on Business Center Drive generally depoted on the Recenting Plan. Fortiers of the 5 first wide visionals may be located in a videwalk or by consent if increasing.
- Development of the Site shall comply with the requirements of the City of Charlotte Tree Ordinance.
- B. Petificial shall course will the applicable provisions of the Charlotte City Council approved and adopted Post-Construction Stramwolta Circlesian
- The location, vire and type of storm water management against depicted on the Booming Plan are subject to review and approval as past of the EX divergence folial influentials under one capacity approved with this receivery. Adjustments may be not one or to reconstructed actual atoms "near to discovergements" and retail has to coloring points.

2. BINDING REFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

SCALE: 1" = 50"

- A. If the Receiving Petition is approved, all conclution applicable to the normal recognition of the State appears, under these Development Standard and the Receiving Time will, whose secondard in the numer provided under the Originator, be thinking upon any more on the herselfs of Petitioner and the spin and subsequent control of the State and the respective operations in determs and only approximate the transition of the State and the respective operations in determs and only.
- Throughout these Development Standards, the term "Petitioner" shall be idented to include the heirs, decisees, personal representatives, success in interest and analysis of Petitioner or the corner or owners of the Site from time who may be involved in any fature development threads.
- C. Any reference to the Ordinance herem shall be coonted to rejer to the requirements of the Ordinance in effect as of the date this Resoning P

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ISSUED FOR BIDDING

ISSUED FOR PERMIT

ISSUED FOR CONSTRUCTION

CAROLINA R CENTER NORTH BUSINESS CHARLOTTE,

REZONING





ISSUED FOR PERMIT

ISSUED FOR CONSTRUCTION

CHARLOTTE, NORTH CAROLINA BUSINESS CENTER DR

REZONING



Questions